

December 2025 onwards

**PLAYFORD
ALIVE**

TERRACE DESIGN CODE 2025



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1. About This Code

1.1 Introduction

Playford Alive is a master planned urban and community development within the City of Playford involving new land releases and the renewal of existing neighbourhoods. It is being developed using 'traditional neighbourhood design principles', supporting the wider project objectives of sustainability, enhancing social interaction and returning a sense of community to residential areas.

A key goal of Playford Alive is the promotion of a variety of housing types with the objectives of:

- Providing greater housing choice.
- Creating a broad price range for housing, incorporating both traditional detached housing and a range of other new and innovative housing products.
- Delivering built forms that address the street and the public domain.

To achieve these aims, a level of development guidance is required, in this case in the form of a design code.

This Terrace Design Code is provided to assist builders and designers in creating high quality built outcomes that achieve an overall consistency of built form whilst allowing for individual diversity and choice. This Terrace Design Code applies to the medium-density residential area within the eastern parcel of the Playford Alive development which will predominantly consist of Terrace style dwellings.

1.2 Scope

This document applies to to Playford Alive's eastern parcel, bounded by Fradd Road East to the north, Curtis Road to the south, Coventry Road to the West and the railway line to the east. These Guidelines apply to land zoned in the Planning & Design Code as Master Planned Neighbourhood.

View area here: playfordalive.com.au/map

1.3 Terrace Design Code Structure

The structure of this Terrace Design Code follows the design process and is set out as follows:

1. About This Code

A background to the Terrace Design Code and its role in the approval process.

2. Sustainability

Achieving a more environmentally friendly dwelling, aiming to reduce your energy consumption.

3. Planning The Siting Of Your Home

Arranging your house in the best way on your allotment.

4. Your House And The Street

Ensuring your block and others work together to contribute to a great, safe and friendly street.

1.4 Relationship To City Of Playford Development Controls

The Terrace Design Code is designed to help your new home be part of a great neighbourhood. Approval from Renewal SA does not constitute Development Approval, rather a contractual agreement between landowner and developer that prescribed standards are met to achieve project objectives. Development Approval under the Planning & Design Code by the City of Playford is still required.

Applicants should consult the City of Playford and other relevant authorities for information on other legislation and policies concerning residential development.

Step 1

Read this Terrace Design Code and consider the Building Envelope Plan for your allotment.

Step 2

Prepare plans for your allotment and home.

Step 3

Submit plans, materials and colour selections to Renewal SA for assessment (your builder will help you to do this, and may undertake this step on your behalf). Further information, clarifications, or amendments may be sought by Renewal SA to ensure your design meets this Terrace Design Code.

Step 4

Approval granted by Renewal SA. Stamped plans will be supplied to your builder for submission to PlanSA via the planning portal or a practicing Accredited Professional for Development Approval.

Step 5

Construction of your home.

Step 6

Playford Alive Bonus Pack. Contact Renewal SA on 1800 644 780 to arrange selection of fencing and landscaping and to coordinate installation on-site.

1.5 Playford Alive Terrace Bonus Pack

The Playford Alive Bonus Pack incorporates a number of bonus items which are included when you purchase your allotment, including:

- **Free** front, side and rear fencing.
- **Free** front landscaping design and installation.
- **Free** driveway crossover.
- **Free** letterbox.
- **\$250** hot water system rebate.

2. Sustainability

2.1 Energy Rating

- All new dwellings must achieve a minimum 7 Star NatHERS energy rating, using an accredited assessor, or an alternate approved pathway to achieve the minimum standards in the National Construction Code (NCC) 2022.

2.2 Building Orientation

- All habitable room (living spaces and bedrooms) windows must have access to natural light (window or skylight).

2.3 Window Treatments

- Where eaves of a minimum width of 0.3m are deemed to be ineffective due to the location of a window, sunhoods must be provided to all north, west and east facing walls for protection from summer sun.
- Lower storey windows and glass doors which face north, west or east must also have their own adequate external shading, shown on building plans.

2.4 Water Conservation

- Capturing and re-using stormwater minimises mains water use and benefits the environment. All dwellings are to include a rainwater tank connected to at least 60% of the roof area and in accordance with the following specifications:
- For site less than 200m²
 - 1,000L minimum retention.

- 1,000L minimum detention.
- Connected to either a toilet, laundry cold water outlet or hot water service.
- For sites 200–400m²
 - 2,000L minimum retention.
 - 1,000L detention if site perviousness <30%.
 - No detention required if site perviousness ≥30%.
 - Connected to one toilet and either the laundry cold water outlets or hot water service.
- For sites >401m²
 - 4,000L minimum retention.
 - 1,000L detention if site perviousness <35%.
 - No detention required if site perviousness ≥35%.
 - Connected to one toilet and either the laundry.

2.5 Water Heating

- This land development will not include a gas service, therefore the choices for hot water systems are as follows:
 - Electric heat pump hot water system.
 - Solar hot water system.
 - An alternative that demonstrates as good or better energy savings when compared to an electric heat pump or solar hot water.
- Hot water systems should be located as close as possible to the kitchen and bathrooms, to minimize water loss when waiting for hot water to come through to the shower/bath/sink.

3. Designing Your Terrace

3.1 Your Terrace

The Terrace is a product currently exclusive to Playford Alive's eastern parcel. The Terrace Design Code will provide you with guidance on how to achieve high quality outcomes according to the standards within Playford Alive.

3.2 Building Envelope Plan

Every allotment at Playford Alive is unique and guided by a Building Envelope Plan (BEP). Driveway locations, access points, significant tree protection zones, easements and other impacting elements are detailed on the BEP. Please ensure you apply this Terrace Design Code in conjunction with the relevant BEP for your allotment. Please note, where the BEP may slightly differ from the building setbacks outlined below, the requirements outlined in the BEP will take precedence.

3.3 Building Setbacks

- Your Terrace should conform to the setbacks shown on each allotment's BEP. Dwellings that encroach outside the setback shown on the BEP will be assessed on merit. A setback is defined as the distance between a property boundary and a wall. In the case of verandahs, the setback is defined as the distance between a property boundary and the eaves.

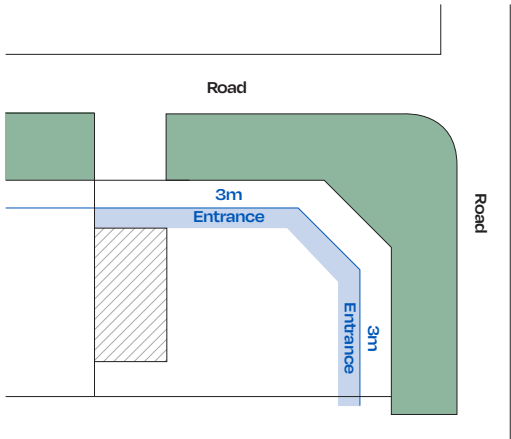
- Building setbacks provide a number of functions in the development of a site, from creating a defined edge to the side of a street and public space, to ensuring that there are adequate areas for private open space, landscaping, vehicle parking and access to natural light.
- There are four allotment types within Playford Alive East. These include:
 - Corner Terrace A.
 - Corner Terrace B.
 - Front Loaded Terrace.
 - Rear Loaded Terrace.

The setback requirements will vary in accordance to your allotment type.

Corner Terrace A

Corner Terrace A is an allotment where the entrance of the Terrace can face either road. The required setbacks are as follows:

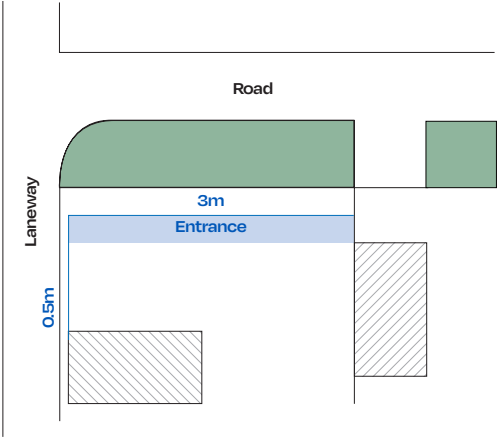
Setback Requirements	
Wall to allotment front boundary.	3m
Wall to allotment front boundary facing a reserve: If allotment fronts public open space >2,000m ² (including where the allotment would adjoin a reserve if not separated by a public road) – front wall to allotment boundary.	1.5m
Wall to secondary boundary.	1m
Boundary walls are permitted where they comply with either: (a) it adjoins or abuts a boundary wall of a building for the same, or lesser length and height; or (b) it is no more than 3m high, 11.5m long, 45% of the total length of the boundary, and does not encroach within 3m of any other existing boundary walls on the subject land.	0m
Verandah eaves, balcony, awning posts and protrusions to all public frontages.	min 1.5m
Garage/carport from front boundary. Garage/carport must also be aligned with or located behind the adjacent wall.	min 5.5m



Corner Terrace B

Corner Terrace B is an allotment where the entrance of the Terrace must face the road and will have vehicle access from a laneway. The required setbacks are as follows:

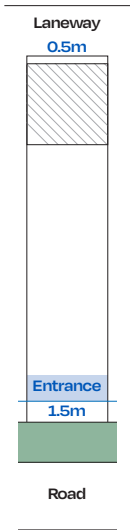
Setback Requirements	
Wall to allotment front boundary.	3m
If allotment fronts public open space >2,000m ² (including where the allotment would adjoin a reserve if not separated by a public road) – front wall to allotment boundary.	1.5m
Wall setback to laneway: – First and second building level. – Third floor level or above.	0.5-1m 7m
Boundary walls are permitted where they comply with either: (a) it adjoins or abuts a boundary wall of a building for the same, or lesser length and height; or (b) it is no more than 3m high, 11.5m long, 45% of the total length of the boundary, and does not encroach within 3m of any other existing boundary walls on the subject land.	0m
Verandah eaves, balcony, awning posts and protrusions to all public frontages.	min 1.5m
Garage/carport from laneway.	0.5m-1m



Rear Loaded Terrace

Rear Loaded Terraces are required to have vehicle access from a laneway. The required setbacks are as follows:

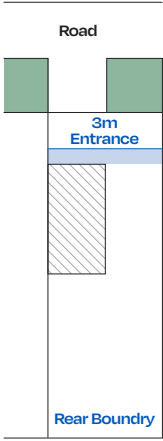
Setback Requirements	
Wall to allotment front boundary.	3m
If allotment fronts public open space >2,000m ² (including where the allotment would adjoin a reserve if not separated by a public road) – front wall to allotment boundary.	1.5m
Wall to secondary boundary.	1m
Boundaries adjoining other properties Boundary walls are permitted where they comply with either: (a) it adjoins or abuts a boundary wall of a building for the same, or lesser length and height; or (b) it is no more than 3m high, 11.5m long, 45% of the total length of the boundary, and does not encroach within 3m of any other existing boundary walls on the subject land.	0m
Verandah eaves, balcony, awning posts and protrusions to all public frontages.	min 1.5m
Garage/carport from laneway.	0.5m-1m



Front Loaded Terrace

The Front Loaded Terrace is an allotment where the entrance of the Terrace must face the road and will have vehicle access also from the road. The required setbacks are as follows:

Setback Requirements	
Wall to allotment front boundary.	3m
If allotment fronts public open space >2,000m ² (including where the allotment would adjoin a reserve if not separated by a public road) – front wall to allotment boundary.	1.5m
Boundary walls are permitted where they comply with either: (a) it adjoins or abuts a boundary wall of a building for the same, or lesser length and height; or (b) it is no more than 3m high, 11.5m long, 45% of the total length of the boundary, and does not encroach within 3m of any other existing boundary walls on the subject land.	0m
Verandah eaves, balcony, awning posts and protrusions to all public frontages.	min 1.5m
Garage/carport from front boundary Garage/carport must also be aligned with or located behind the adjacent wall.	min 5.5m
Wall to allotment rear boundary.	3m



3.4 Private Open Space (POS)

Dwellings shall be provided with functional spaces for private recreation and service areas that will play a complementary role to the quality public spaces provided within and around Playford Alive's eastern parcel. These spaces should be screened from public view and should provide access to sunlight, shade and shelter.

Minimum dimensions and overall sizes for the POS help to ensure the functionality of outdoor spaces and encourage indoor/outdoor living and for clothes drying, services, etc. Overly small or narrow spaces are less likely to be used regularly. Similarly, outdoor spaces that do not receive natural light are also less likely to be used.

POS must be for the exclusive use of the occupants of the dwelling. It may include verandahs, alfrescos, balconies, terraces and decks where they are not enclosed on all sides.

POS does not include areas used for bin storage, laundry drying, rainwater tanks, utilities, driveways or vehicle parking areas.

Your Terrace should provide POS in the form of a courtyard, balcony, sun deck and/or roof-top garden (or combination) in accordance with the following table:

Lot Size	POS
<301m ²	24m ² minimum
>301m ² +	60m ² minimum

At least one area should be directly accessible from a living room with a minimum area of 16m² and a minimum dimension of 3m*.

- All ground level POS should have a minimum dimension of 2m.
- All balconies should have a minimum dimension of 1.8m.
- POS should be screened from public view by a building or fence with a minimum height of 1.8m and a maximum transparency of 20%.
- POS should receive direct sunlight (where possible) and be provisioned with opportunities for shade and shelter through pergolas (with deciduous vines), 'solar' pergolas, canopies or similar.
- POS should be exclusive of the area assigned for the storage of garbage bins, utilities and for drying of clothes.

* 'Living Area' includes, but is not limited to: lounge rooms, family rooms, dining rooms, living rooms etc, but does not include bedrooms, bathrooms, studies or kitchens. Renewal SA will consider the function of a room rather than its name on any plans when determining if it is a living area.

3.5 Carparking Requirements

On-site carparking alleviates community concerns around carparking on residential streets and commercial areas, especially in an area where substantial infill development is occurring.

Your Terrace will provide the following on-site carparking:

- For 1 bedroom dwellings – 1 vehicle park.
- For 2 or more bedroom dwellings – 2 vehicle parks.
- Enclosed vehicle park spaces must meet the following internal dimensions:

Vehicle Park Type	Width	Length
Single	3000mm	5400mm
Double	5400mm	5400mm

- A garage or carport door opening must be a minimum of 2400mm per space.
- Undercover vehicle parks must conform with the following design conditions:
 - No part is in front of the building line of the dwelling.
 - It is set back at least 5.5m from the boundary of the primary street.
 - The garage door/opening does not exceed 7m in width.

3.6 Upper Level Balconies

As well as being a great place to sit and relax, your upper-level balcony can perform an important role to help activate public spaces through the provision of passive surveillance. Whilst it is not mandatory for all Terraces to be provisioned with balconies (except where indicated on the BEP), balconies are encouraged to add visual interest, depth and shadow to the façade of your Terrace.

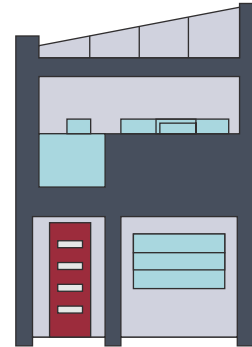
Your balcony should:

- Provide views to streets and public spaces (where possible).
- Minimise views into other balconies and living spaces through methods such as recessing, orientation and screening.
- Provide you with privacy and screen your space from public view.
- Act as a functional extension of your living space, or be capable of being fully opened up to living areas through wide sliding or stackable doors.

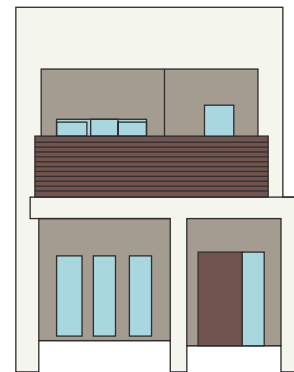
- Be comfortable to use through the capture of winter sun/protection from summer sun (where possible) and prevailing winter winds through the use of shading devices, roofs, screens and/or recessing. Fully protruding balconies with no protection should be avoided.
- Be designed to promote articulation and avoid a 'caged' or overly solid and constrained appearance.
- Provide a visual 'break' to the horizontal dimension of a solid balustrade that faces the street. Where the balcony balustrade exceeds 2m in width, a 'transparent to solid' ratio of a minimum 25% must be incorporated into the design. That is, at least one quarter of the front facing balustrade must be a transparent material. A change of material from the front façade may also be considered.

However, if your front balcony is within 15m of another balcony or habitable room window on an adjoining allotment, privacy screening will be required as follows:

- Permanently obscured with a maximum 25% transparency/opening fixed to a minimum of 1.7m above Finished Floor level.



25% transparent to solid ratio met in balustrade materials.



Change in balustrade materials from front façade.



25% transparent to solid ratio not met OR no change in balustrade materials from front façade.

3.7 Façade Treatment

Façades should be carefully designed to contribute to the modern and contemporary aesthetics of Playford Alive. This can be achieved through the use of a variety of colours and materials, and through articulation achieved by recessing and protruding building elements.

Materials and Colours

Your Terrace should provide a high standard of façade materials. The materials and colour selections you choose will help to create an individual feel for your Terrace and an interesting and diverse streetscape. Your Terrace should include a range of building materials on façades visible to the public in accordance with the following requirements:

- A minimum of two materials of varied texture and a minimum of two colours should be used.
- A maximum of 80% in the one material on the front façade.
- Render and stone are encouraged, with timber or steel sheeting used as infill features (and to highlight window and door frames).
- Blank and/or unarticulated walls will not be accepted.
- If you are building more than one Terrace in a row, variation in elevation treatment, materiality and colour between Terraces should be incorporated. The group of Terraces will be considered jointly and elevations showing the entire group must be submitted.

Front Entrances

Building entrances form the connection between private and public spaces, and when designed attractively, can add significant value to the quality of the street and appearance of your Terrace's façade. Accordingly, your Terrace should provide a front entrance door that is:

- Visible from the primary street boundary.
- Contemporary in design, form and siting.
- Easily identifiable as the primary entrance to your home.
- Must be undercover to provide shade and shelter either by recessing the entrance door by a minimum of 0.5m or by a portico or balcony.

If you choose to use a security screen door, then it should be simple in design and not dominate the overall appearance of the entry and should complement your Terrace's front façade.

3.8 Roof Design

Your roof plays an important role in reinforcing the desired character of your street, enhancing the skyline and local views, and contributing to the architectural quality of your Terrace.

Playford Alive's eastern parcel, it is envisaged that the Terraces will have a variety of roof forms to add visual interest to the streetscape, in accordance with the following requirements:

- Your roof should comprise simple pitched forms (either skillion, hipped or gabled, or a combination).
- Skillion roofs should be pitched at a minimum of 7.5 degrees and hipped roofs should be at a pitch to complement the dwelling.
- Flat roofs and parapet elements are allowed (in moderation) to contrast with the predominant pitched roof character of the locality (through negotiation with Renewal SA). Parapet roofs proposed for 4.8m Rear Loaded Terraces must be at least 1m above ceiling height.
- Roof lines should be clean and uninterrupted by equipment. Rooftop plant and ancillary equipment should be integrated to minimise visual impact as viewed from the streets, public spaces and from other buildings.
- The design of your roof should respond to the orientation of the site to provide shade and/or opportunities for solar capture (including photovoltaic cells) and minimise glare into adjacent buildings and public spaces.
- Roof form, design and colour of garages facing rear lanes should be varied to create visual interest along the laneway.

- Light roof colours must be considered as part of your external materials selections. As a guide, we will support metal roof colours with a Solar Absorptance of $SA=0.60^{**}$ or less. A similar colour palette must be observed for tiled roofs. Darker roof colours such as Gully, Wallaby, Monument, Night Sky or Woodland Grey will not be supported.

****** Refer to Colorbond BlueScope colour chart.

3.9 Windows

The type of frame, glazing, placement and size of your Terrace windows has a significant impact on the appearance of your dwelling and how energy efficient it is. Your windows should be contemporary in design and in accordance with the following requirements:

- The design, placement and type of your windows should match the architectural theme of the Terrace.

3.10 Building & Ceiling Heights

Your Terrace should be of a sufficient height to provide you with comfortable living spaces and to enhance the appearance of the streetscape in accordance with the following requirements:

- Your Terrace must be a minimum of two-storeys and a maximum of three-storeys with a maximum building height of 12m measured from finished ground level to the top of the roof pitch.
- Where there is a living area, internal ceiling heights should be a minimum of 2.7m from floor level and a minimum of 2.4m for other areas.
- Single storey Terrace outcomes may be considered on merit.

3.11 Corner Terraces

If your Terrace is located on the corner of two intersecting streets (or at the edge of a street and a public space/walkway), it should be designed to capitalise on the prominence of the site and to ensure that both of its public aspects are of a high quality and add value to the street and/or public space in accordance with these requirements:

- Your Terrace should address both frontages to the same quality, articulation, use of materials, themes and detailing.
- Blank walls should be avoided.
- You should consider a number of design elements for incorporating into the design of your secondary façade such as windows, blade walls, balconies, feature materials, detailing, wall articulation and modulation.
- Service facilities (e.g. air conditioning plant, hot water heaters, etc) should not be visible from the secondary street, laneway or public space.
- Meter boxes (including any associated pipes and/or conduits) will be permitted on a publicly visible secondary street frontage but should be painted to be as unobtrusive as possible.

3.12 Playford Alive Terrace Bonus Pack - Fencing

You should consider the following when selecting your front fencing. Fencing performs a number of important roles – from defining private spaces from public spaces to providing privacy and enhancing the appearance of buildings as viewed from the street.

Terrace Bonus Pack Front Fencing (Forward of the Building Line)

- Front boundary definition in the form of fences or low walls is required.
- Front fencing includes the front and side boundaries to the front façade of the building.
- Colours and materials are to follow the main building colour palette.
- Front fencing must include transparent components.
- Front fences must be a minimum of 0.9m high to a maximum of 1.2m high.
- All front fencing must extend a minimum of 0.5m on side boundaries behind the front façade of the building (or adjacent building, whichever is closer to the front boundary).

Terrace Bonus Pack Side and Rear Fencing

- Side and rear fencing between properties is to be 1.8m high Good Neighbour Colorbond® fencing.
- Side boundary fencing will commence at least 0.5m behind the front wall of the building.

Terrace Bonus Pack Secondary Street/Laneway Fencing (Behind the Building Line) and Gates

- A secondary street fence is to be installed as per the front fence for a minimum distance of 4m behind the front building line (front wall). The remainder of the secondary street fence is to be 1.8m in height and shall be Good Neighbour Colorbond® with 100x 100mm decorative posts in 'Black Gloss'.
- The colour of the fence is determined by Renewal SA.

3.13 Garages and Carports

Garaging and carports can have an adverse effect on the appearance of your Terrace and the streetscape if not carefully designed. Your Terrace should be the predominant feature of your site when viewed from the street and your garage or carport should be a secondary element.

- Parking areas and driveways should be designed to incorporate attractive materials and be kept at a minimum width and depth to reduce hard-stand surfaces and provide opportunities for landscaping.
- Garage doors are to be panel lift. Roller doors will only be supported where they face a laneway.
- Allotments proposed for a double garage/carport must have a door width of 5.5m to allow sufficient space for parking, access and manoeuvring.
- Publicly visible garage/carport columns must have a minimum dimension of 200x200mm and rendered to match the dwelling. Steel posts or brick columns will not be accepted.

3.14 Letterbox

The letterbox for Rear Loaded Terraces that front a reserve must not face the reserve walkway, in accordance with Australia Post regulation.

3.15 Landscaping And Driveways

Design and installation of the front yard landscaping is included as part of the Playford Alive Terrace Bonus Pack. Once landscaping has been installed, homeowners are required to maintain all publicly visible landscaping to Renewal SA standards. A sealed driveway is required to be installed prior to the installation of the front yard landscaping.

3.16 Trees

At least one feature tree in the front yard and one in the rear yard will be required, to maximise tree canopy coverage and reduce the urban heat island effect. One feature tree in the front yard will be provided by Renewal SA. Other trees will be at the owner's expense.

3.17 Landscaped Verges

Renewal SA will landscape and install irrigation to the verge(s) adjacent to your allotment. The irrigation will be connected to your home. The verges will be turfed adjacent to allotments with frontages of 10m wide or greater. The verges will be planted adjacent to allotments with frontages of less than 10m wide. The ongoing maintenance and watering of the verge will be the owner's responsibility.

3.18 Utility Elements

Utility elements can be unsightly and detract from the presentation of your Terrace. All utilities should be hidden from view to minimise public visibility.

Evaporative Air Conditioning

- Evaporative air conditioning systems must be of a low profile type, be well set back from the front façade and not visible from the street.

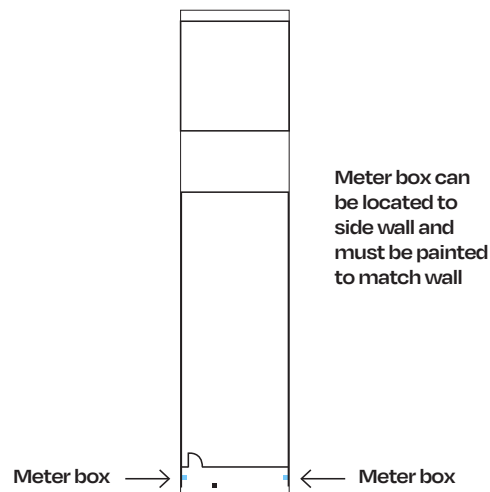
Solar Panels

- Solar panels shall be located on the roof, ideally where they are not visible from public areas and should, in the first instance, be located on the northern elevation, otherwise on the western elevation.
- Solar panels must be supported on the roof and not on a separate frame.

Meter Boxes

- Where your Terrace is built boundary to boundary, (including corner allotments) the meter box must be recessed into the portico and painted to match the wall.

Example of meter box locations for terraces built boundary to boundary



Waste Management (Bin Storage)

- Your Terrace should be designed to provide a space for the sorting of waste and storage of mobile garbage bins (as administered by the City of Playford).
- In the case of front-loaded Terraces with single width garaging, this area should be provided through the provision of an additional metre added to the depth of the garage.

3.19 Telecommunications Network

It's important that you talk to your builder and cablers about the telecommunications services you may wish to access in your home and provide guidance on where telecommunications equipment, phone and data outlets should be located for the services you want.

Opticomm have been nominated as the telecommunications provider for the Playford Alive's eastern parcel. Opticomm also have the capabilities to provide free-to-air TV signals over the fibre network, eliminating the need for rooftop antennas and satellite dishes.

All purchasers of land or premises (where broadband services are available) must ensure that any wiring of those premises complies with the Opticomm "Velocity Premises Installation Guide". Any failure to comply with this guide may prevent connection to the Opticomm infrastructure or may result in additional costs being incurred by you in order to connect to the Opticomm network.

For more information visit: [opticomm.com.au](https://www.opticomm.com.au)

3.20 Designing With Slope

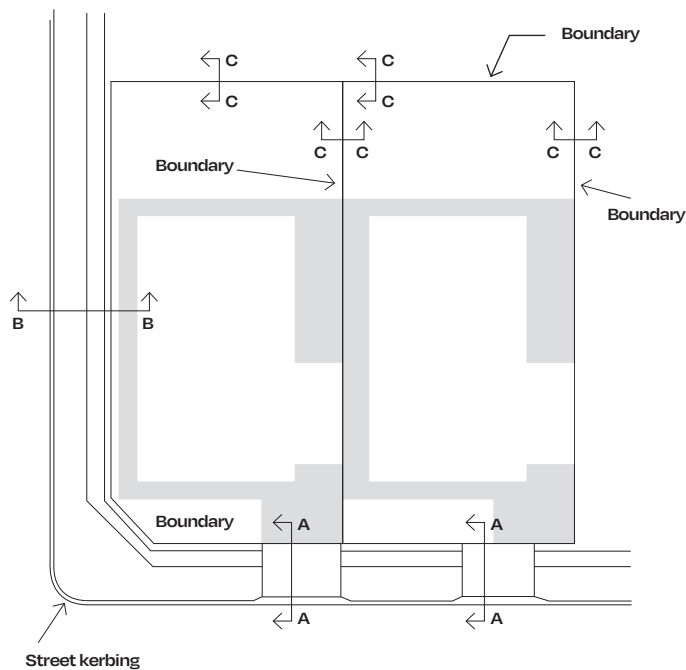
While most land at Playford Alive has a gentle slope, it is important that you design the levels of your house to minimise excessive cut and fill that can lead to expensive retaining walls which can detract from your home's appearance. The floor level of your house in relation to the street can have a big impact on the overall appearance and cost of your home.

Engineering Plans

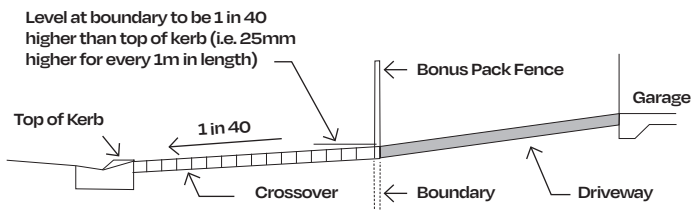
Renewal SA will require engineering plans for our records of final levels and grades, finished floor level of the house stormwater connection and checking all the retaining wall details. When considering the siting of your home, make sure:

- Your finished floor level is set to minimise cut and fill across the block and avoid unnecessary and expensive retaining walls.
- Your crossover grade meets Australian Standards and in accordance to council specification. Refer to Section A-A for details.
- Your driveway grade meets Australian Standards, enables easy access to your garage, and is constructed with the correct levels at the boundary. Refer Section A-A for details.
- That levels at the property boundary are not altered from existing levels. If there is a level difference, any rectification works undertaken will be at your expense. Refer to Section B-B and Section C-C for details.
- That retaining walls at the front of the home are minimised (generally less than 0.6m in height). If retaining to the front of the home is required, or is publicly visible, the height and the extent must be clearly shown on the plan and decorative material shall be used. 'Decorative material' is considered as:
 - Stone or feature rock.
 - Feature exposed or rendered brick.
 - Interlocking feature panels.
 - Feature timber (not untreated pine).
 - Hardwood.
- Plain or coloured concrete sleepers will not be accepted.
- Alternative materials that complement the style of your home may be considered by Renewal SA.

Typical Lot Plan



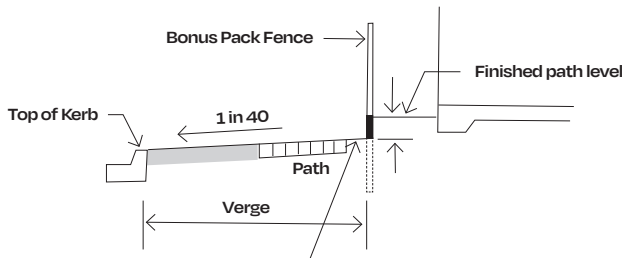
Typical Section A-A showing level of driveway and crossover



Note:

Levels along entire front boundary are to match 1 in 40 grade from top of kerb. An edging beneath the tubular front fence may be required (edging at your expense).

Typical Section B-B showing levels along side boundary of corner lots

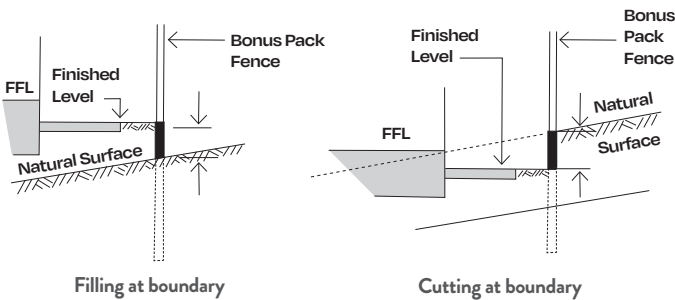


Finished verge level will be at 1 in 40 slope from top of kerb (i.e. 25mm higher for every 1m in length)

Note:

1. If the finished level is 0.2m higher (or less) than verge level, an under fence plinth can be installed by the fencing contractor (at your expense).
2. If the level difference is greater than 0.2m, an engineered retaining wall is required (at your expense).

Typical Section C-C showing levels at common boundaries



Note:

1. If you need to change a level at the boundary (either filling or cutting as above) you need to provide a retaining wall.
2. If the level difference is 0.2m or less, an under fence plinth can be installed by the fencing contractor (at your expense).
3. If the level difference is greater than 0.2m, an engineered retaining wall is required (at your expense).
4. If the level differences are as a result of both neighbours' requirements, the costs should be shared.

4. Things You Need To Know

4.1 Incurred Costs

- Any costs related to relocation, removal or establishment of any infrastructure, services, utilities, street trees, landscaping, footpaths, kerbing, fencing, retaining walls etc, required due to the design and siting of your home must be paid for by the purchaser. Renewal SA will not burden any additional expense beyond that which is already constructed or planned.
- Any works required as per above must be constructed to match existing infrastructure (in terms of colours, materials, location etc) to the satisfaction of Renewal SA.
- If the alignment of your garage is more than 0.5m offset from the crossover, you are required to relocate the crossover (and any other affected infrastructure) at your expense.
- If there is a level change from the existing levels at the property boundary, you are required to rectify the levels at your expense. This must be completed prior to the installation of the fencing provided by Renewal SA as part of the Playford Alive Terrace Bonus Pack.

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